

# Roof Extensions

## A Development Guide

Policies H8 and H13 and Appendices 3 and 4 in the Dartford Local Plan Review Second Deposit Draft set out the Council's planning policies relating to residential extensions. This guidance note explains the requirements for roof extensions in more detail. If you are in any doubt, staff are happy to provide advice and guidance – contact details are at the end of this note.

Further information on the planning process and the Council's policies are available in the Planning Section of the Council's website – [www.dartford.gov.uk](http://www.dartford.gov.uk)

### **WHEN IS PLANNING PERMISSION REQUIRED?**

Extensions to dwelling houses, including roof extensions, loft conversions and dormer windows always require planning permission if the volume when added to all previous extensions to the original house (and in some cases other buildings not necessarily attached to your house) exceeds a certain size. Planning permission will also be required if there were restrictive conditions attached to the property when it was built. The Development Control Section will be able to advise if this is the case.

### **TERRACED HOUSES (excluding houses in Conservation Areas)**

A maximum of 10% or up to 50 cubic metres (whichever is the greater) can be added without planning permission, subject to the rules set out below.

### **ALL OTHER HOUSES (Outside Conservation Areas)**

A maximum of 15% or up to 70 cubic metres (whichever is the greater) can be added without planning permission, subject to the rules set out below.

Planning permission is *always* required for any extension to a house which has been converted into flats. There are other limitations on the height of an extension.

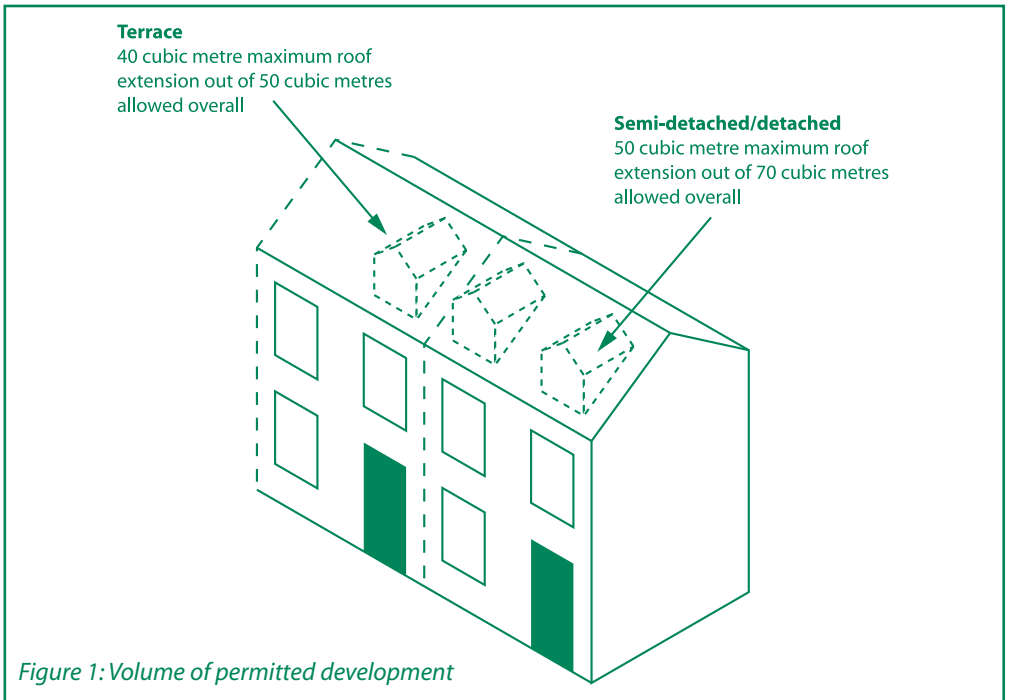
### **ROOF EXTENSIONS**

You will need to apply for planning permission if *any* of the following points apply to your proposed roof extension:

- a) *the extension is higher than the highest part of the original roof to the house;*
- b) *your house is in a Conservation Area;*
- c) *you want to build an addition or extension to any roof slope which faces a highway;*

- d) the roof extension would add more than 50 cubic metres to the volume of the house or 40 cubic metres if it is a terraced house. **This allowance is not in addition to but must be deducted from the allowances set out above.**

**If you are unsure whether you need planning permission, you are strongly advised to contact the Council's Development Control team before undertaking any works.**



## **DORMERS**

### **Suitability**

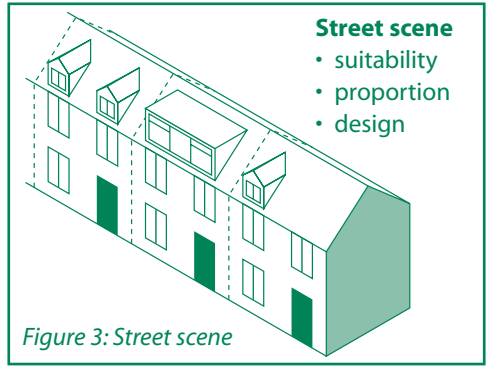
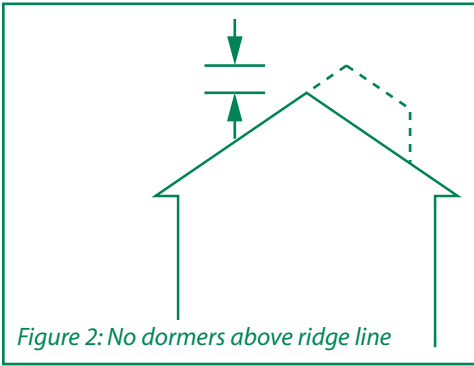
If not treated sympathetically, dormer extensions can cause problems for your immediate neighbours and in the way the street is viewed as a whole. Control on dormers is therefore regarded as particularly important and is reflected in the rules which are applied.

Any conversion should not dominate a roof, and the dormer should be set well within the boundaries of the roof. The general principles are:

- no dormer should extend above the ridge line of the roof and should generally be well below it (see figure 2)
- the dormer should be significantly set back from the eaves, party or end walls.

### **Proportion and Design**

In terms of proportion and design, the new dormer should respect the original building, its neighbours and the local street scene (see figure 3)



a) **Design**

Window design should relate to the windows of the original house in terms of construction, materials used and finish. It is equally important that the design or proportion of the window is carried through from the original house.

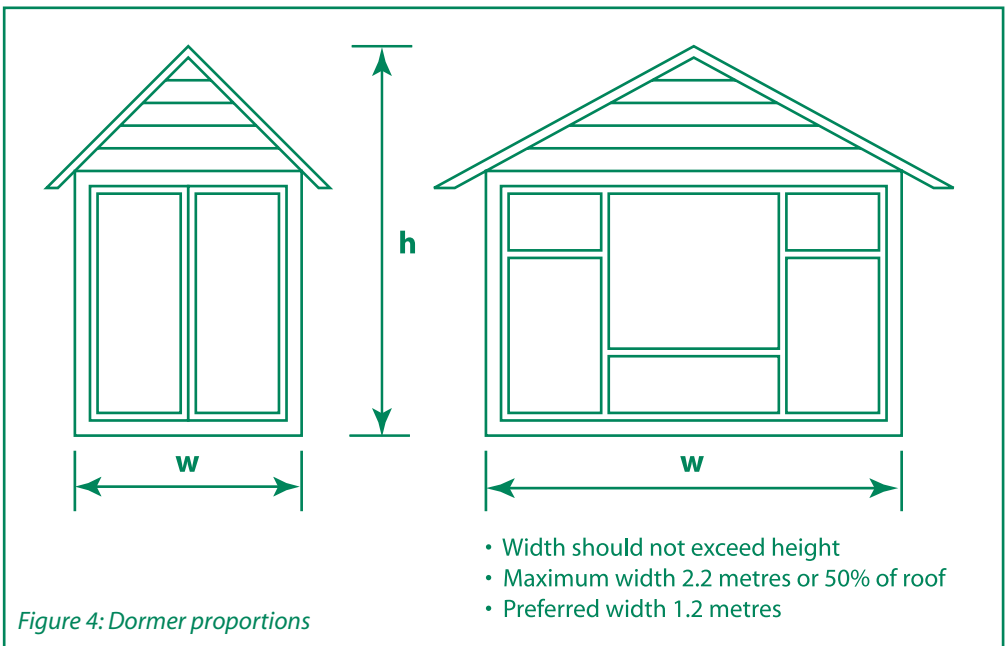
b) **Composition**

The new windows should directly relate to the existing windows and form a carefully balanced composition. Where this is not possible for practical reasons, the separation of the existing wall and the front of the dormer should be greater so that the dormer is set well back.

**Size**

The following practical rules should be followed:

- the width of the dormer should not exceed its height unless there are particular design considerations (see figure 4). These must be stated by the applicant.*
- the maximum width for any dormer should not exceed 2.2 metres or 50% of the roof (see figure 4); the preferred width is 1.2 metres (approx 4ft).*
- where more window area is needed, especially facing a street, two or more small dormers should be installed (see figure 5). The visual bulk of the additions should be reduced by careful spacing.*
- Any dormer(s) should not exceed half the width of the roof, measured at its mid height (see figure 5).*
- When a flat roof dormer is considered acceptable, the maximum vertical distance should not exceed 1.65 metres measured from a point which intercepts with the existing roof (see figure 6).*
- The minimum distance from a flank wall should be 900mm, though a greater distance may be necessary to maintain the proportions of a larger dwelling (see figure 7).*
- The minimum distance from the top of the dormer to the ridge should be one complete tile and below it should be two complete tiles from the eaves (see figure 7). The minimum distances may be extended by design factors discussed elsewhere.*



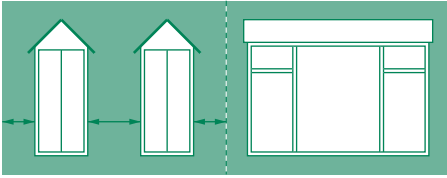
- h) *The distance between the dormer window cill and the existing roof should not normally exceed 250mm (see figure 7).*
- i) *The width between the side of the window and the flank of the dormer should not exceed 250mm (see figure 7).*
- j) *No vents, ducts or pipes (other than rainwater pipes) are allowed with roof extensions, particularly to the front of the property.*
- k) *Water tanks, water tank enclosures or other such items should be enclosed within the roof structure.*

### **Flat and Pitched Roofs**

A pitched roof dormer is the preferred solution. The pitch should normally be the same material as the main roof.

### **Position of Dormer**

A dormer can be positioned on the front or rear roof but the preferred location is the rear. The importance of maintaining the character of the street will influence the design of a front-sited dormer. It is, however, equally important to avoid an overbearing or poorly designed rear roof dormer. Dormer windows in a flank-hipped roof is unacceptable because of overlooking and design considerations. A construction of front, rear and side dormers would be out of proportion to the original building (see figure 8).



- All dormers together less than 50% of roof width.
- Two small dormers rather than one wide.

Figure 5: Dormer spacing

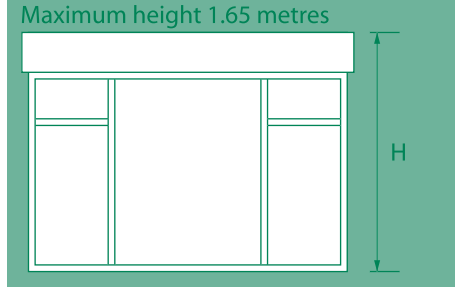


Figure 6: Dormer height

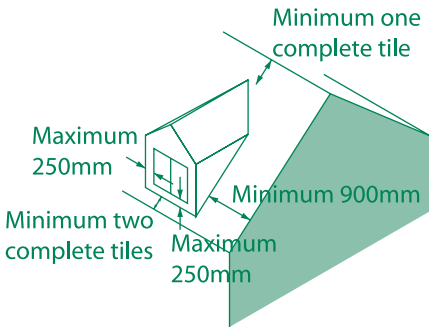


Figure 7: Dormer sizing and position

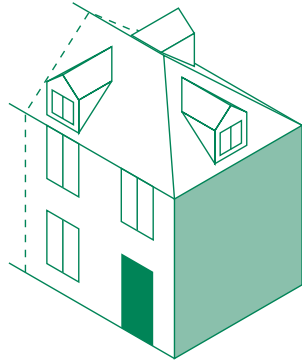


Figure 8: Dormer positions



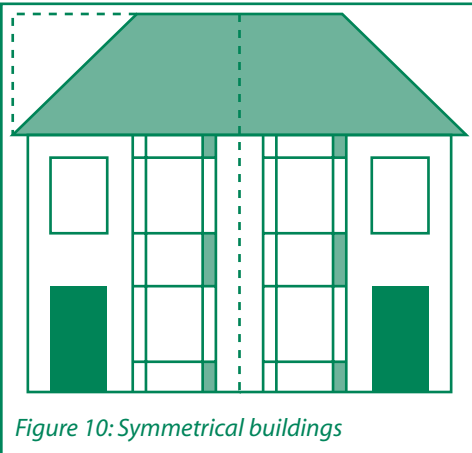
Figure 9: Half Dormer addition

### Half Dormers

A half dormer extends up the existing cill line, cuts the eaves and guttering, and is generally lower in outline on a roof. In these cases the proportions of the affected wall and the design of the windows are of greater importance. The dormer has less impact on the roof line though it may present practical problems (height of the window to the internal conversion; the need for more rainwater pipes, etc) All other sizing rules apply (See figure 9)

### **SYMMETRICAL BUILDINGS**

On a semi-detached or end-of-terrace property a roof extension can destroy the symmetry of the terrace. This can be seen in most extreme cases when a gable end replaces a hipped end. This will not normally be allowed. (See figure 10)



*Figure 10: Symmetrical buildings*

### **DEVELOPMENT CONTROL**

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